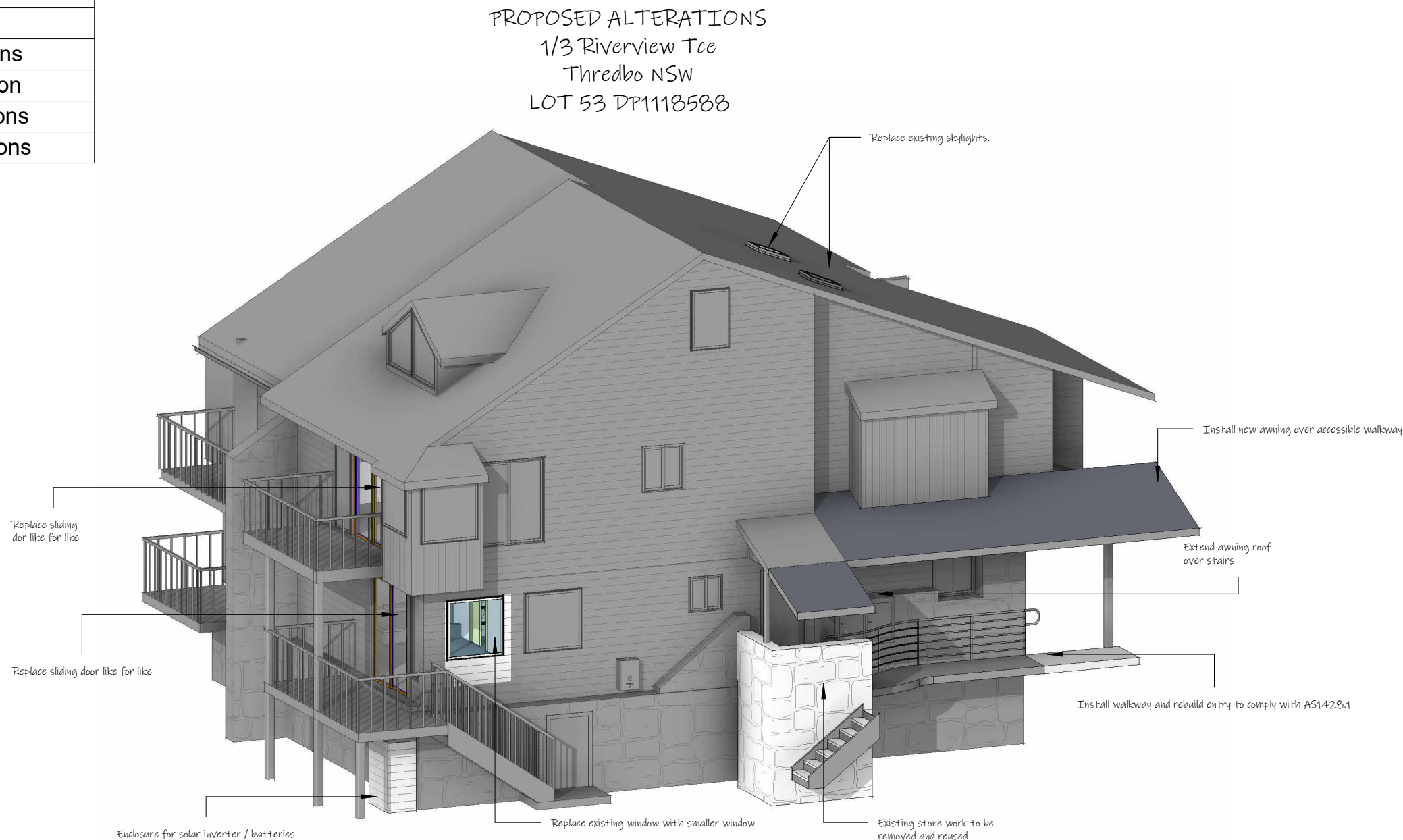

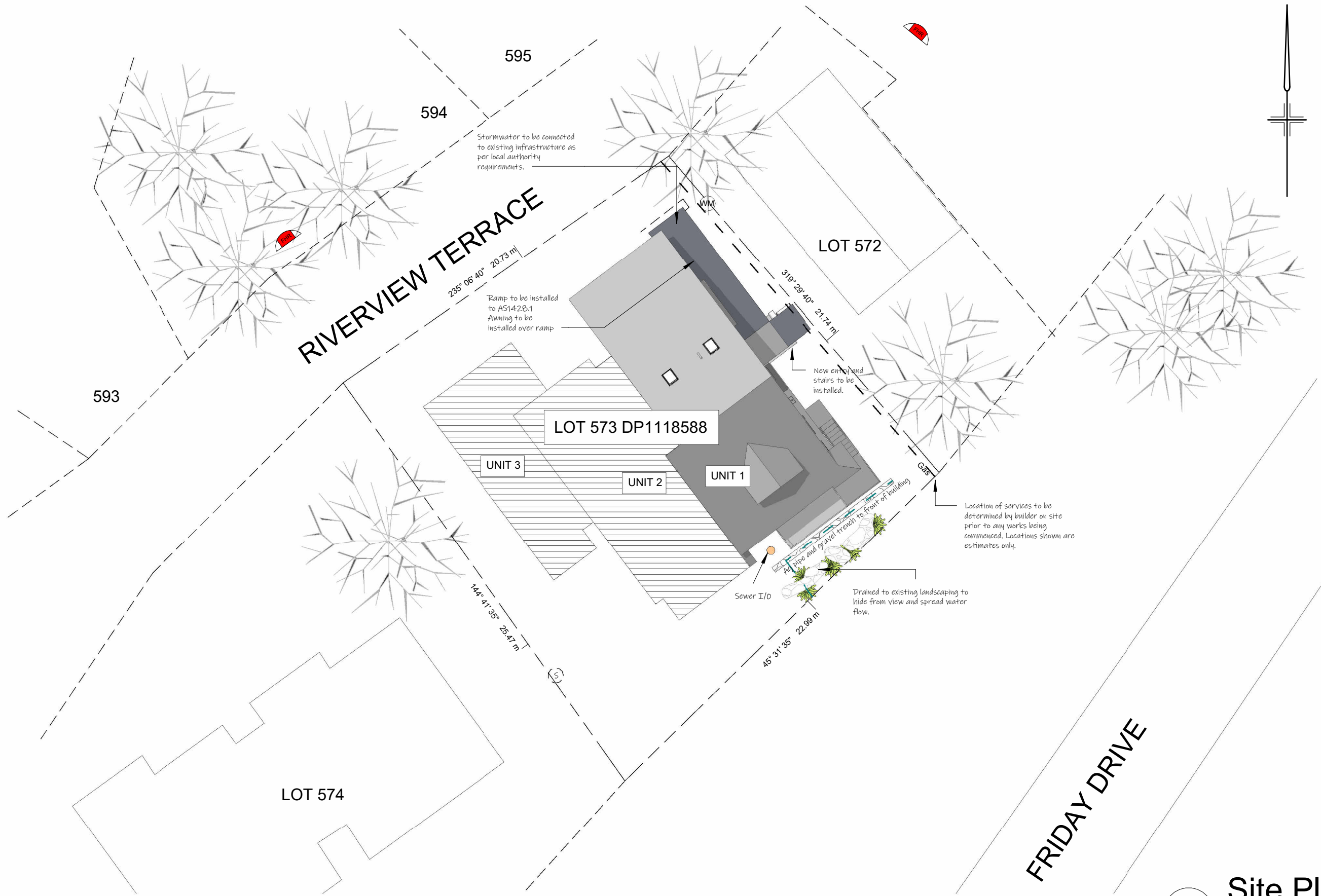


Drawing List	
Sheet Number	Sheet Name


S1	Cover
S2	Site
S3	Level 1
S4	Level 2
S5	Level 3
S6	North East Elevations
S7	South East Elevation
S8	North West Elevations
S9	General Specifications

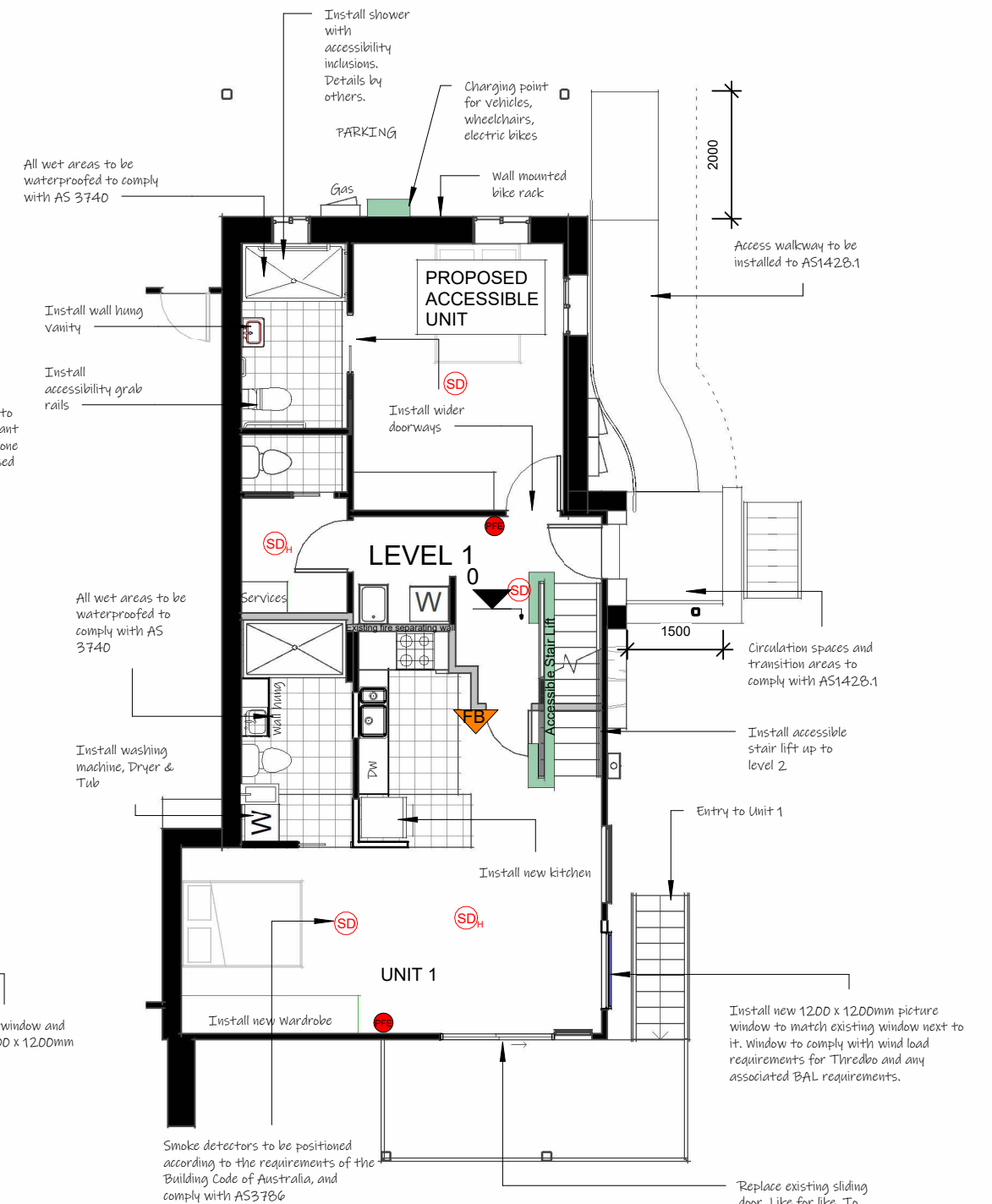
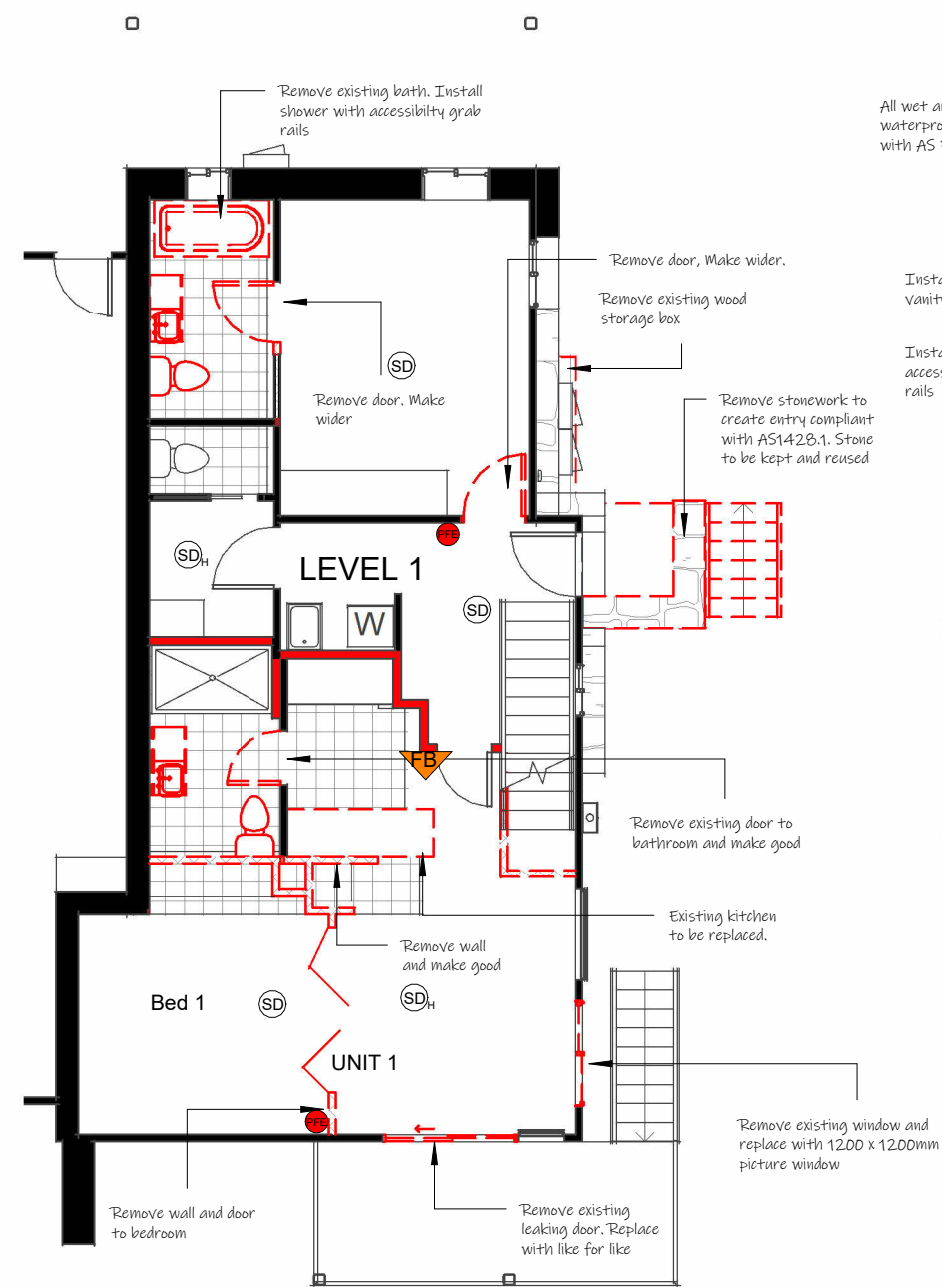
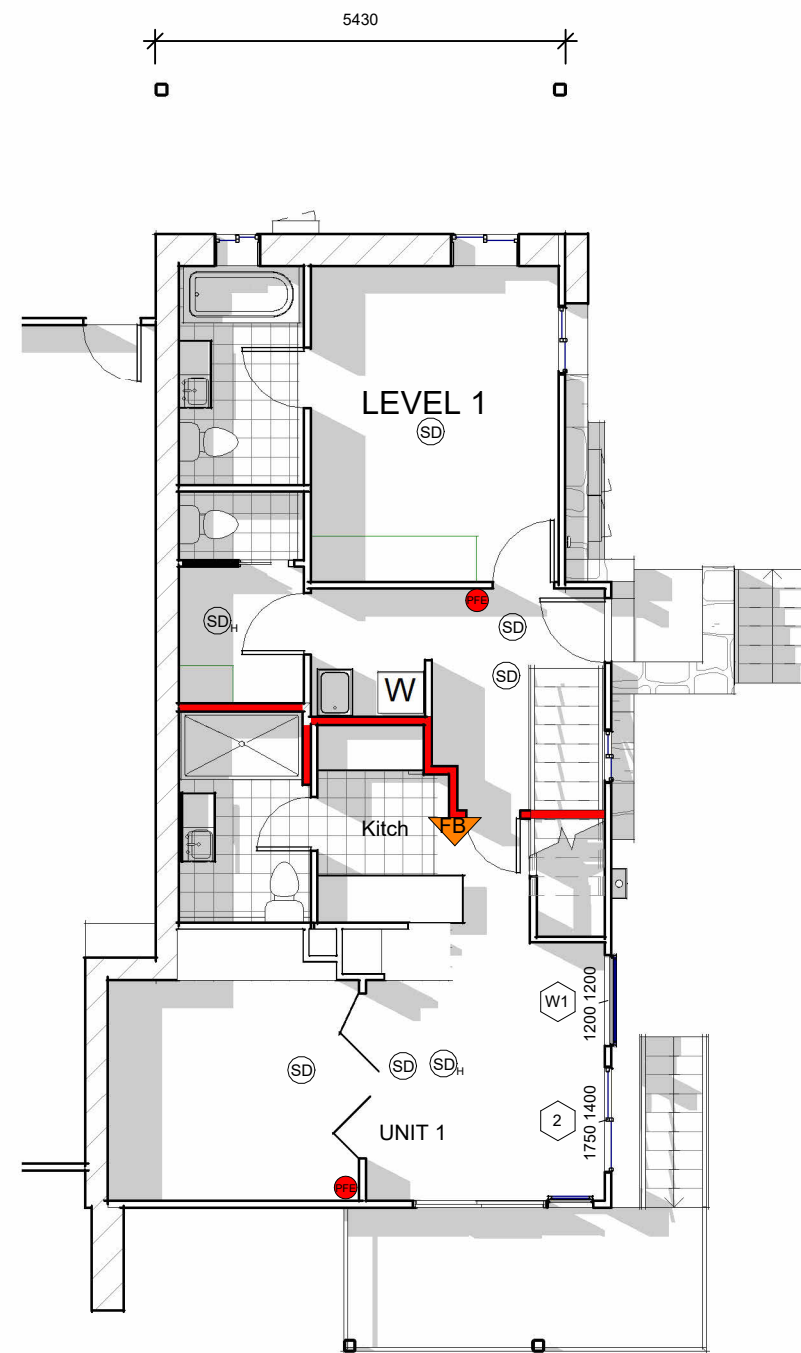






	Jude Little 40 Sharp St Cooma, NSW, 2630. judelittle@bigpond.com Ph 0416 292 934	<p>Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications.</p> <p>Builder to identify service locations on site prior to the commencement of any works.</p>	<p>Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all frames in accordance with the BCA All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2015 Nabo Holdings Pty Ltd. This document remains the exclusive property of Nabo Holdings and may not be copied in whole or part without written permission.</p>	CLIENT:	SITE: Snowdrift Apartment 1 LOT 573 DP1118588 1/3 Riverview Terrace Thredbo NSW	TITLE: Cover		
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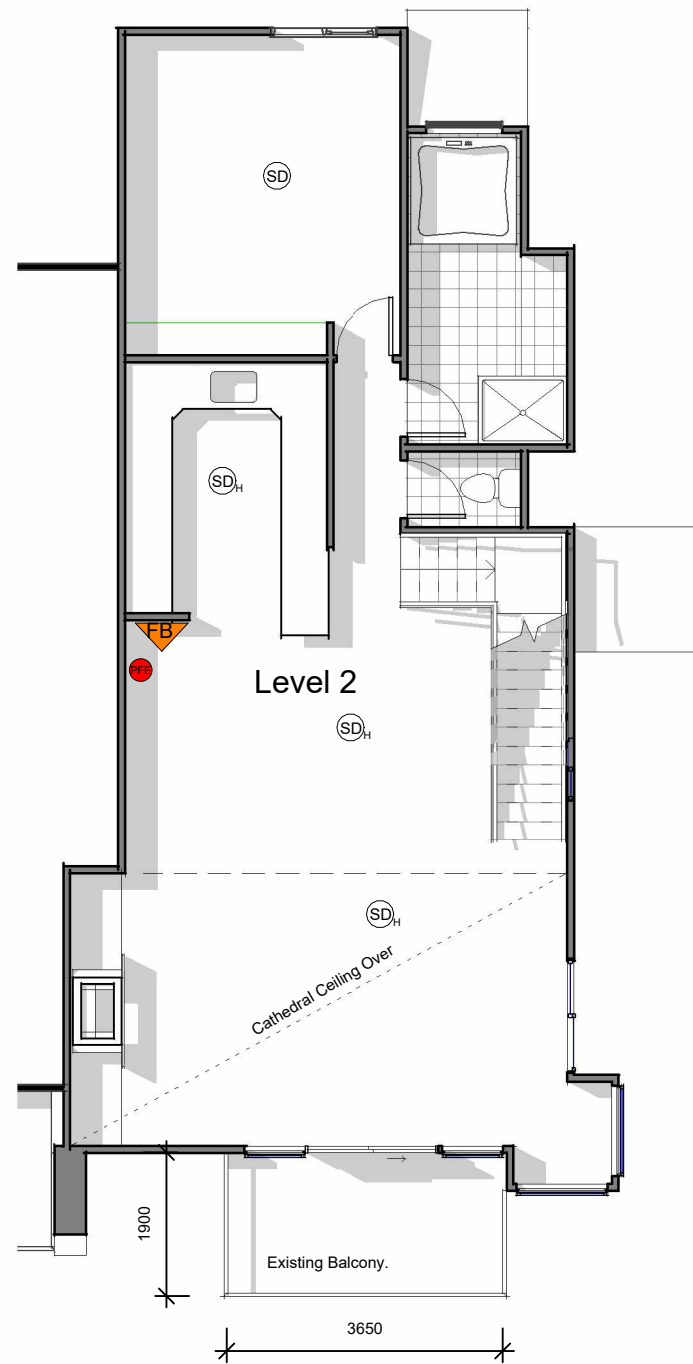


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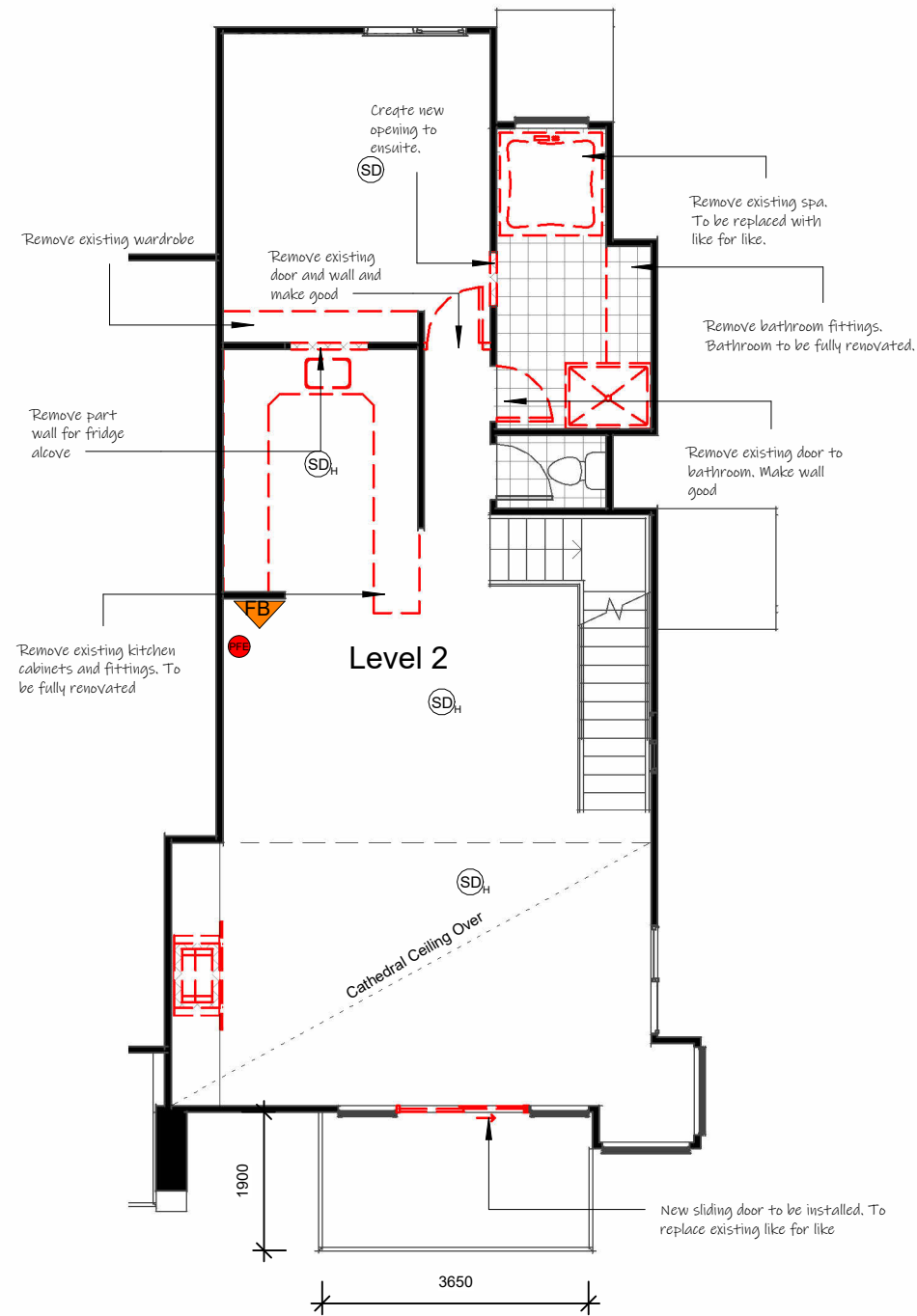
 <div>Jude Little 40 Sharp St Cooma, NSW, 2630. juelittle@bigpond.com Ph 04 16 292 934</div>	Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications. Builder to identify service locations on site prior to the commencement of any works.		Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all framing in accordance with the BCA All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2015 Nabo Holdings Pty Ltd. This document remains the exclusive property of Nabo Holdings and may not be copied in whole or part without written permission.	CLIENT: PROJECT: Alterations	SITE: Snowdrift 1 1/3 Riverview Tce, Thredbo NSW LOT 573 DP1118588	TITLE: Site Plan	
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	Fire Blanket
	Smoke Detector
	Heat Detector

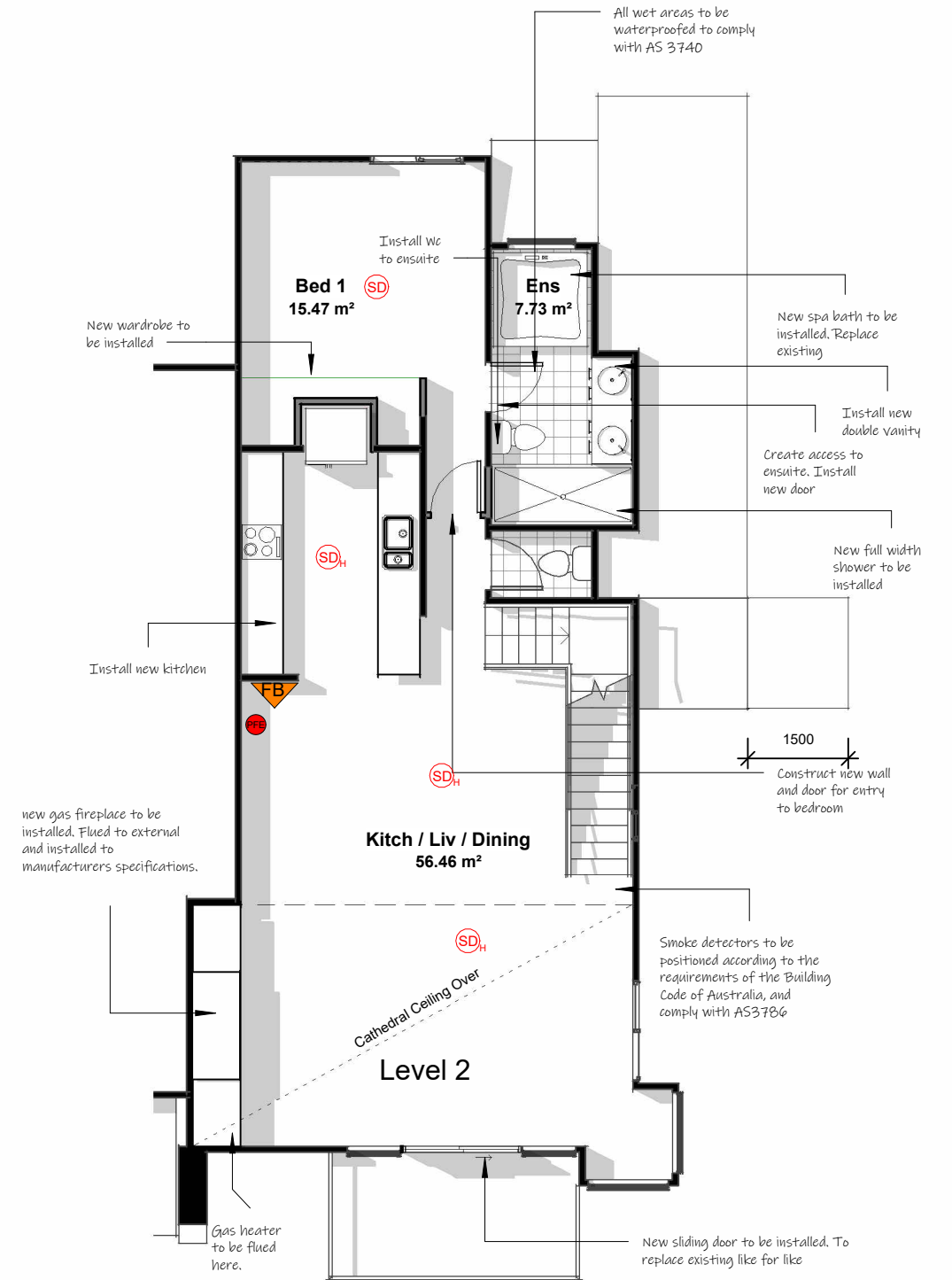


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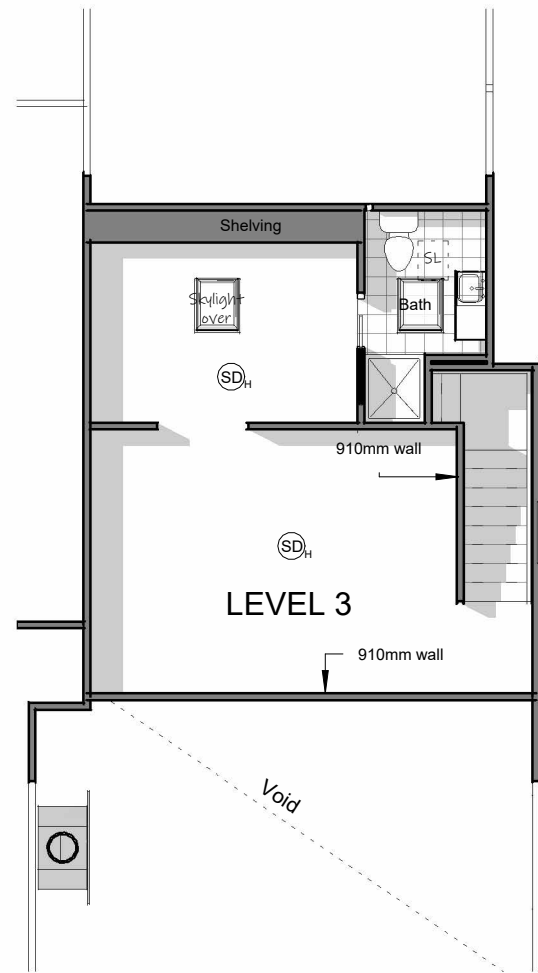
2 Level 2 Demo
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	Portable Fire Extinguisher
	Fire Blanket
	Smoke Detector
	Heat Detector

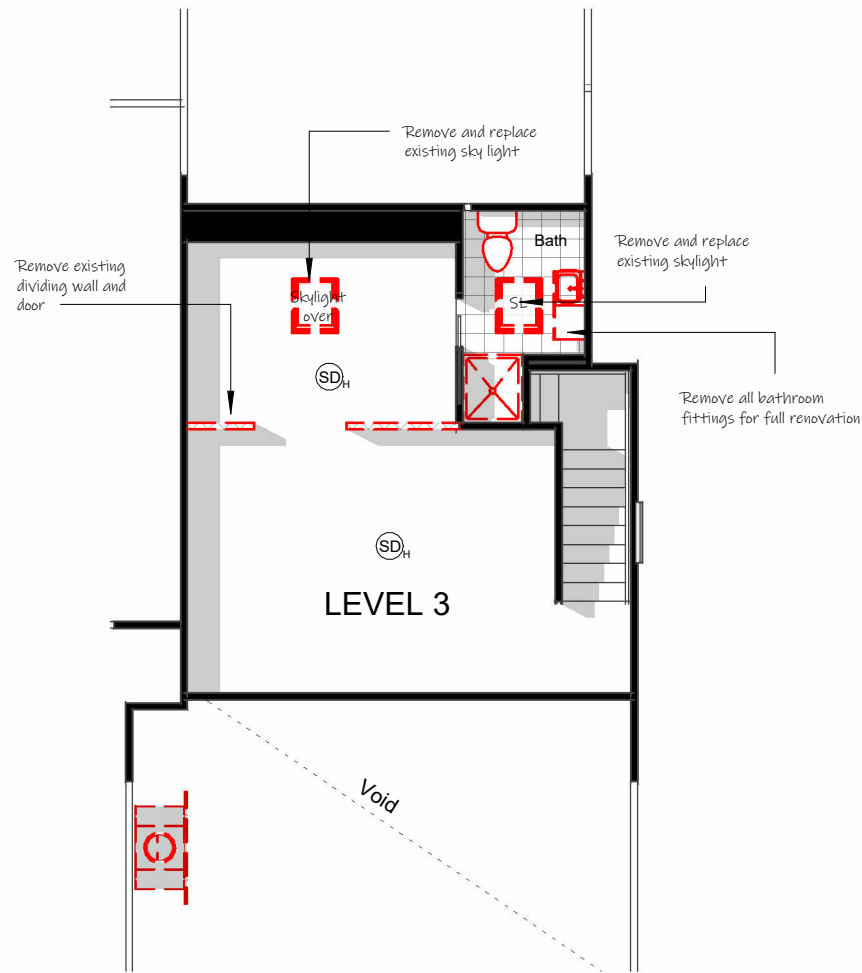


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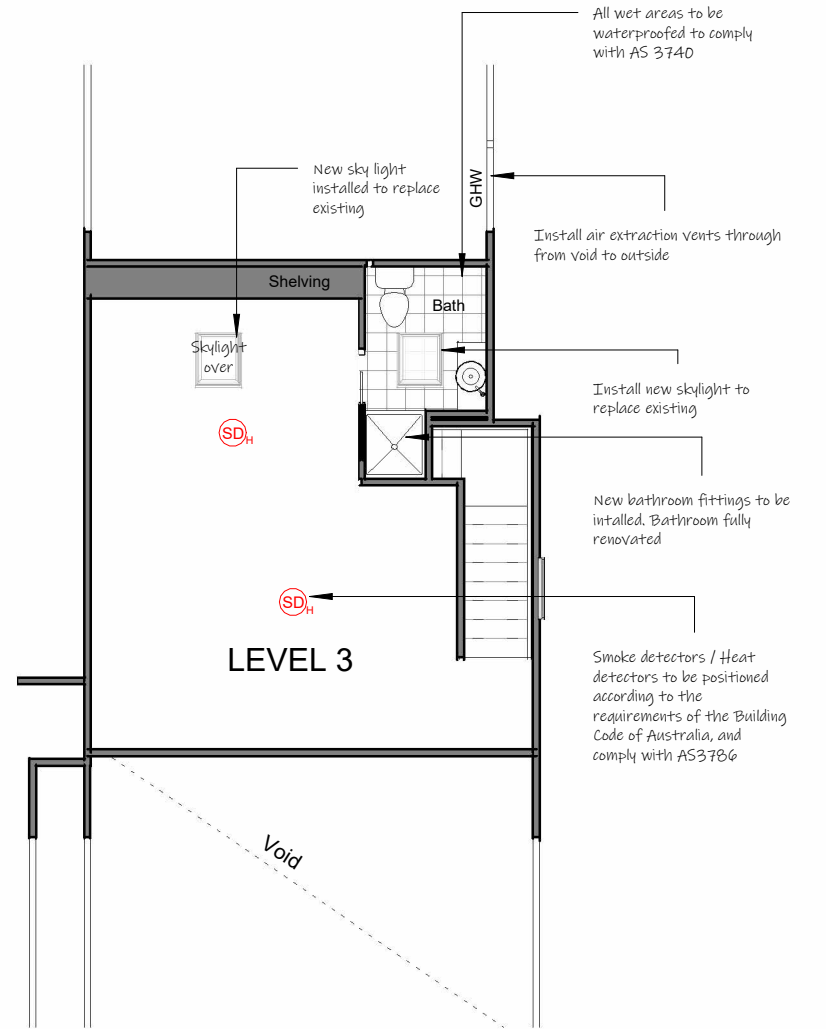
 <div>Jude Little 40 Sharp St Cooma, NSW, 2630. judelittle@bigpond.com Ph 0416 292 934</div>	<p>Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications. Builder to identify service locations on site prior to the commencement of any works.</p>	<p>Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all frames in accordance with the BCA All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2015 Nabo Holdings Pty Ltd. This document remains the exclusive property of Nabo Holdings and may not be copied in whole or part without written permission.</p>	<div>CLIENT:</div> <div>PROJECT: Proposed Alterations</div>	<div>SITE: Snowdrift Apartment 1 LOT 573 DP1118588 1/3 Riverview Terrace Thredbo NSW</div>	<table><tr><td colspan="3">TITLE: Level 2</td></tr><tr><td>SCALE AT A3: As indicated</td><td>DRAWN: JL</td><td>REVISION: H</td></tr><tr><td colspan="2">DATE: 29/10/2021 10:28:50 AM</td><td>DRAWING NO: S4</td></tr></table>	TITLE: Level 2			SCALE AT A3: As indicated	DRAWN: JL	REVISION: H	DATE: 29/10/2021 10:28:50 AM		DRAWING NO: S4
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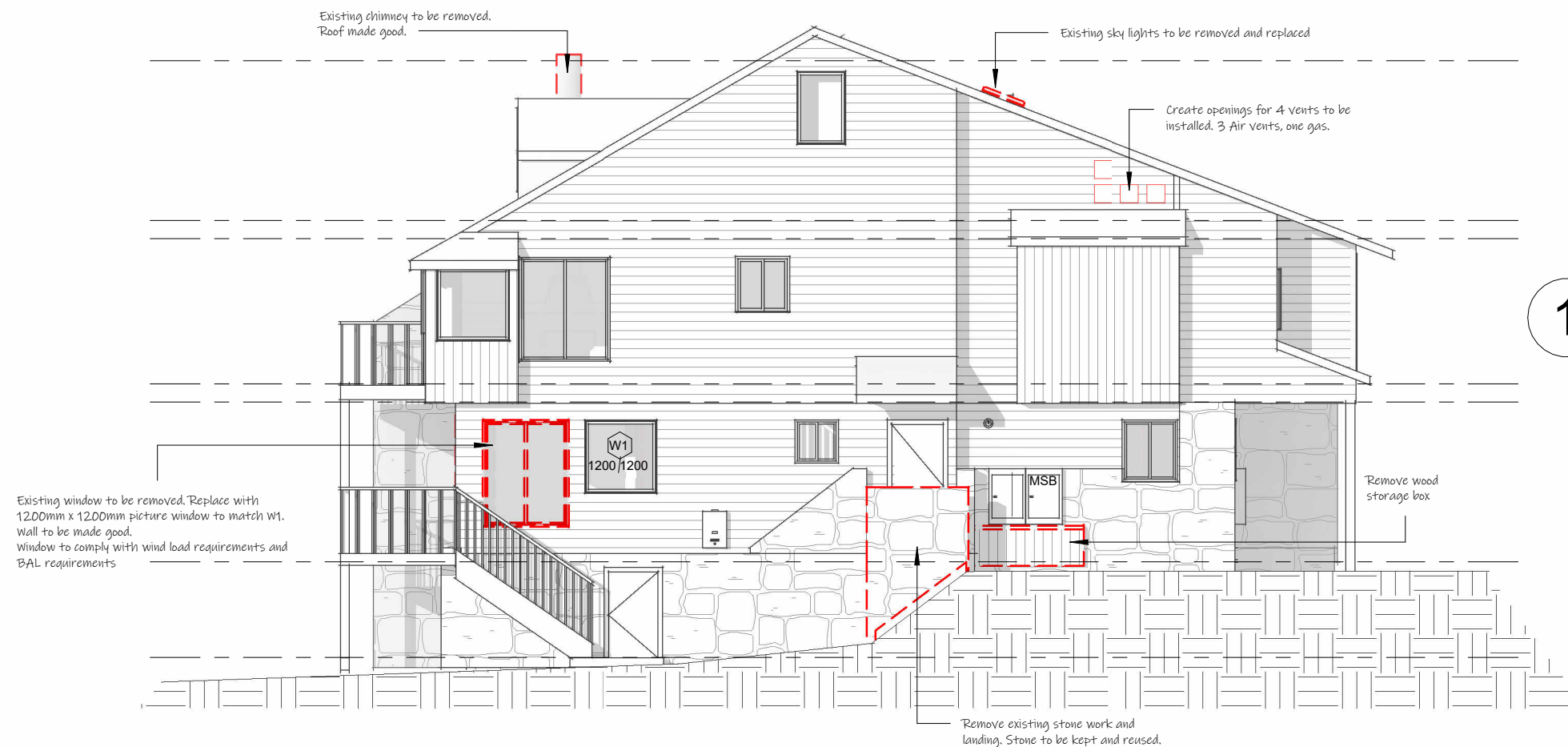


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3 Proposed Level 3
1 : 100


- Portable Fire Extinguisher
- Fire Blanket
- Smoke Detector
- Heat Detector

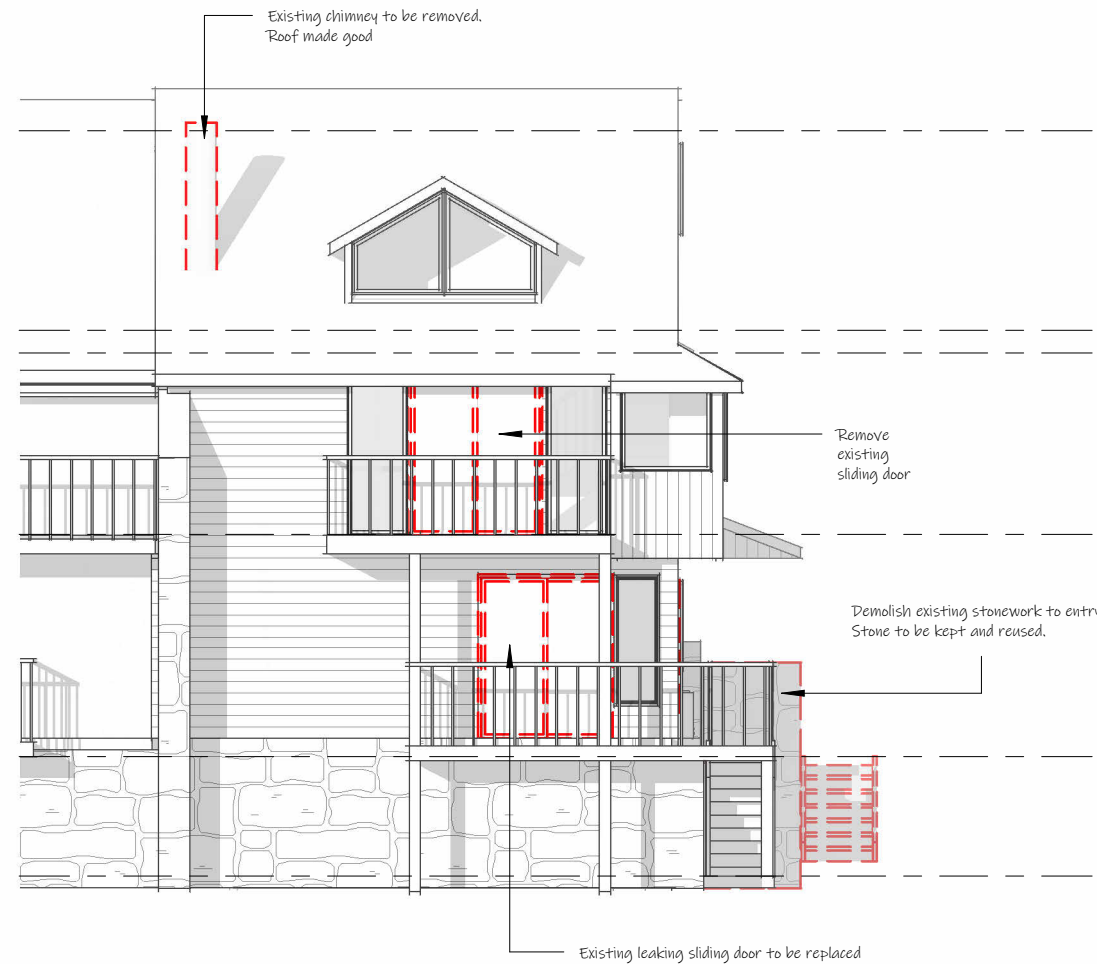


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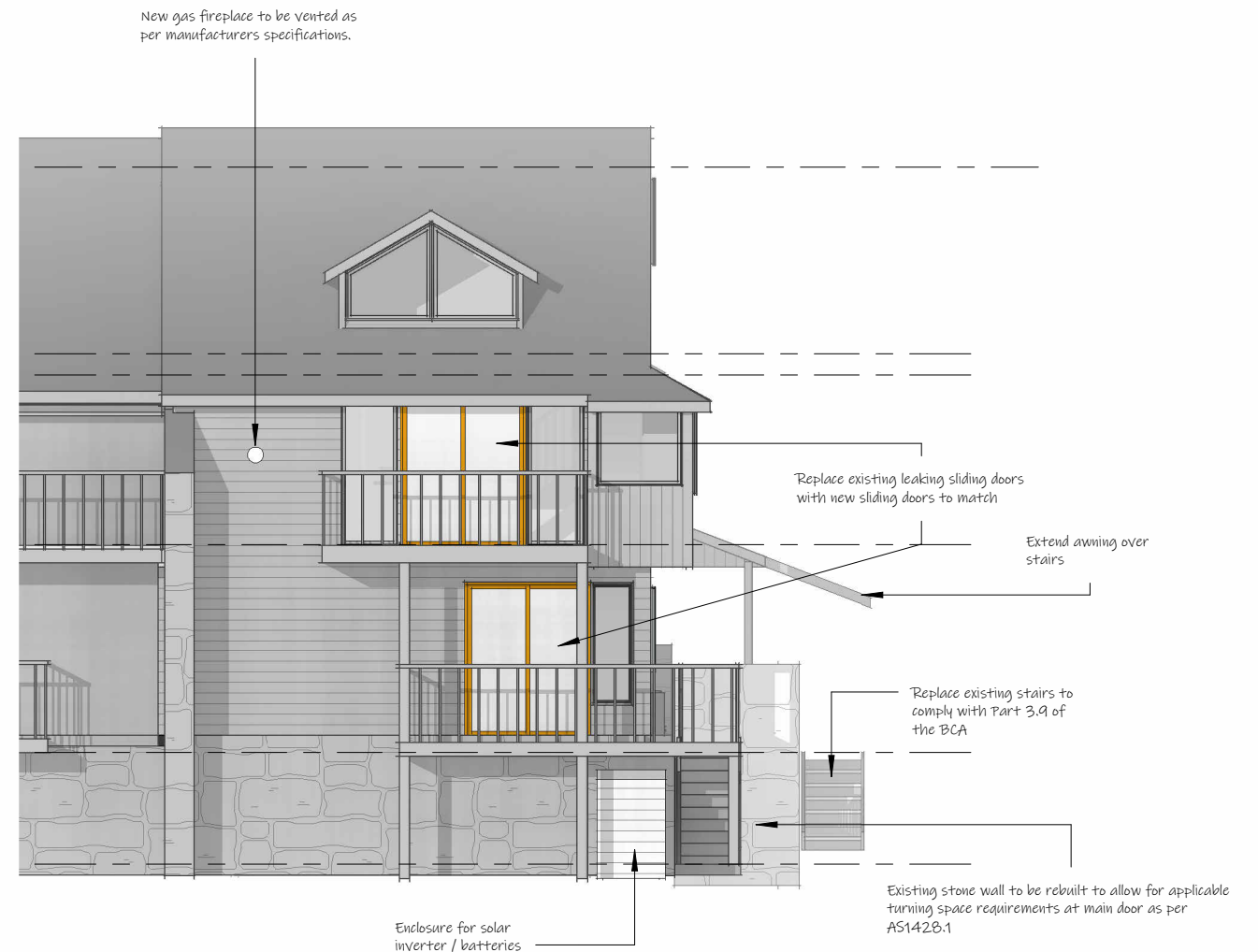


2 Proposed NE
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	<p>Jude Little</p> <p>40 Sharp St Cooma, NSW, 2630. jude.little@bigpond.com Ph 0416 292 934</p>	<p>Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications.</p> <p>Builder to identify service locations on site prior to the commencement of any works.</p>	<p>Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all frames in accordance with the BCA. All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2015 Nabo Holdings Pty Ltd. This document remains the exclusive property of Nabo Holdings and may not be copied in whole or part without written permission.</p>	CLIENT:		SITE: Snowdrift Apartment 1 LOT 573 DP1118588 1/3 Riverview Terrace Thredbo NSW	TITLE: North East Elevations		
				PROJECT: Proposed Alterations			SCALE AT A3: 1 : 100	DRAWN: JL	REVISION: H
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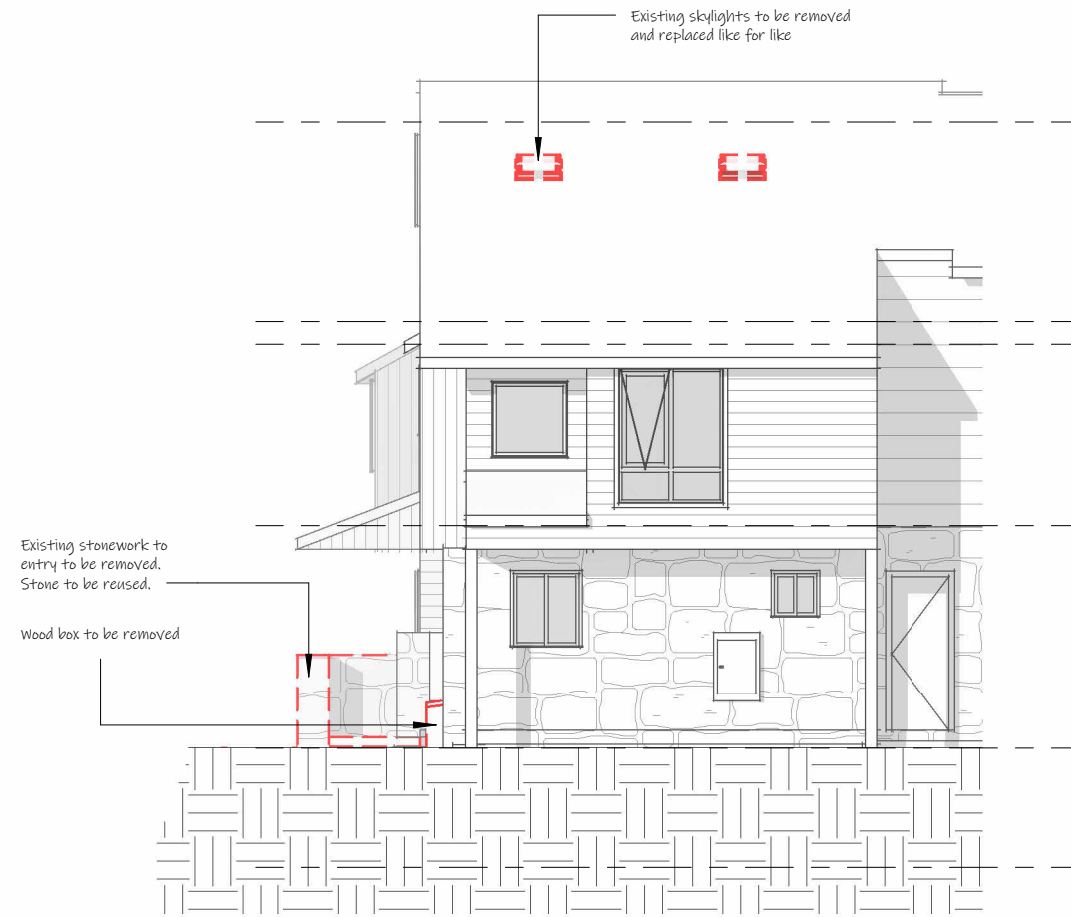


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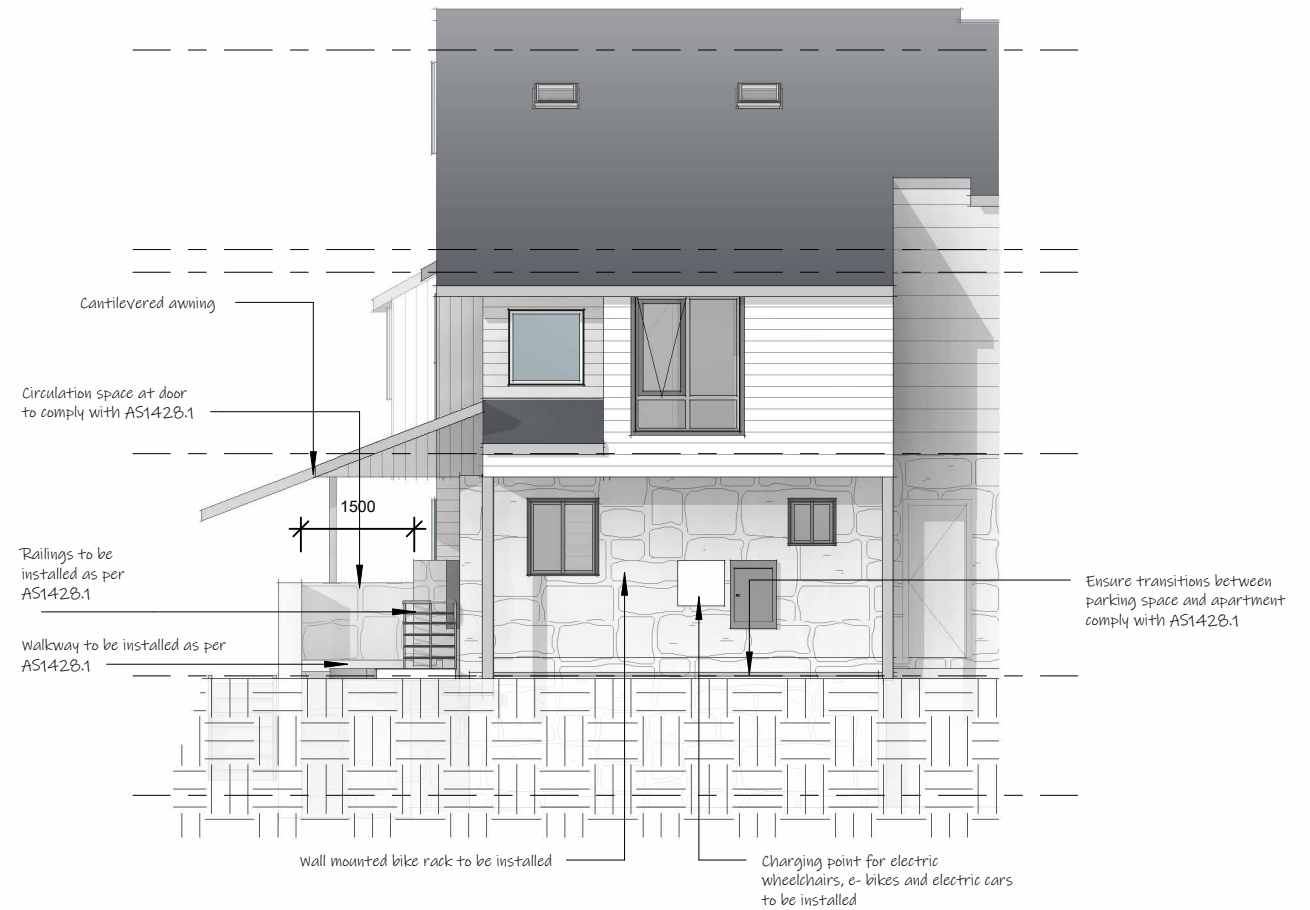


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 <div>Jude Little 40 Sharp St Cooma, NSW, 2630. judelittle@bigpond.com Ph 0416 292 934</div>	<p>Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications. Builder to identify service locations on site prior to the commencement of any works.</p>	<p>Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all frames in accordance with the BCA All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2015 Nabo Holdings Pty Ltd. This document remains the exclusive property of Nabo Holdings and may not be copied in whole or part without written permission.</p>	<div>CLIENT:</div> <div>TITLE:</div> <div>SITE:</div> <div>Snowdrift Apartment 1 LOT 573 DP1118588 1/3 Riverview Terrace Thredbo NSW</div>	<div>TITLE:</div> <div>South East Elevation</div> <table><tr><td>SCALE AT A3: 1 : 100</td><td>DRAWN: JL</td><td>REVISION: H</td></tr><tr><td colspan="2">DATE: 29/10/2021 10:28:57 AM</td><td>DRAWING NO.: S7</td></tr></table>	SCALE AT A3: 1 : 100	DRAWN: JL	REVISION: H	DATE: 29/10/2021 10:28:57 AM		DRAWING NO.: S7
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DATE: 29/10/2021 10:28:57 AM		DRAWING NO.: S7								
<div>PROJECT:</div> <div>Proposed Alterations</div>										



1 Existing NW
1 : 100



2 Proposed NW
1 : 100



Jude Little

40 Sharp St
Cooma, NSW, 2630.
judelittle@oagpond.com
Ph 0416 292 934

Do not scale off drawings. Written dimensions shall take precedence.
All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works.
All works are to comply with the BCA and all relevant authority requirements.
All steel beams and supports to registered engineers specifications.
Builder to identify service locations on site prior to the commencement of any works.

Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works.
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All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements.
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CLIENT:

PROJECT:

Proposed Alterations

SITE:

Snowdrift Apartment 1
LOT 573 DP1118588
1/3 Riverview Terrace
Thredbo NSW

TITLE:

North West Elevations

SCALE AT A3:
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DRAWING NO.:

S8

GENERAL SPECIFICATIONS

1 Setting Out

The Contractor shall accurately set out the Works in accordance with the site Plan and within the boundaries of the site.

2.0 EXCAVATIONS

2.1 Excavations for all footings shall be in accordance with the Engineels Recommendation or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

3.0 FOUNDATIONS AND FOOTINGS

3.1 Underfloor fill

Underfloor fill shall be in accordance with AS 2870 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

3.2 Termite Risk Management

Termite treatment shall be carried out in accordance with or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings or AS 3660.1

3.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

3.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineels recommendations Support to all reinforcement shall be used to correctly position to avoid any undue displacement of reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

3.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer. Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer. Concrete shall be placed and compacted in accordance with good building practice.In hot (above 30 degree Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pounding of water on the surface, or as directed by the Engineer

3.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

3.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs, these slabs shall be constructed in accordance with the Engineels recommendations.

3.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates

3.9 Sub-floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

3.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan

3.11 Curing

All slabs shall be cured in accordance with AS 3600.

4.0 RETAINING WALLS

4.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority Whether the construction of such shall be obligation of the Owner or the Contractor.

5.0 EFFLUENT DISPOSAL/DISPOSAL

5.1 In both sewerred and unsewerred areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

5.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

5.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drainage to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building or as per local authority requirements.

6.0 TIMBER FRAMING GENERALLY

6.1 Timber Framing

All timber framework sizes, spans, spacings, notching, checking and fixing shall comply with the provisions of AS 1684 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

6.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown, Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

6.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall. Studs in each of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with accordance with AS 1684.

6.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufactur  s specification and data sheets may be used.

6.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricators written instructions.

6.6 Bracing

Timber frames must be braced in accordance with AS 1684. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

6.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

6.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and construction in accordance with AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, purlins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684. Metal fascias shall be installed in accordance with the manufacture  s recommendations.

6.9 Timber Posts

Posts supporting carports, verandahs and porches shall be timber suitable for external use, or as otherwise specified, supported or galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

6.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection

6.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists. All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe

7.0 STEEL FRAMING GENERALLY

7.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufactur  s recommendations and AS 3623 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

8.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings and be installed as per the manufactur  s requirements.

8.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with the manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

8.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufactur  s instructions. Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

8.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings. UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

8.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation

8.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufactur  s specifications.

8.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 2013 Housing Provisions

9.0 MASONRY

9.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units

9.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733 Autoclaved Aerated Concrete blocks shall be in accordance with the manufactur  s Product Specification at the time the work is being carried out.

9.3 Damp Proof Courses

All damp proof courses shall comply with the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

9.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

9.5 Mortar and Joining

Mortar shall comply with AS 3700 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings. Joint tolerances shall be in accordance with AS 3700

9.6 Masonry Accessories

Compliance with the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

9.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

9.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings

10.0 CLADDING AND LININGS

10.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufactur  s recommendation and any applicable special details.

10.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS3740 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

10.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

11.0 JOINERY

11.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

11.2 Door Frames

External door frames shall be minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendation.

11.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 2688 and AS 2689

11.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

11.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

11.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material

11.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

12.0 SERVICES

12.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber. Fittings shall be supplied and installed as specified

12.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority, unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

12.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority

12.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with the provisions as specified in the National Construction Code (NCC) Volume 2 - Housing Provisions Class 1 & 10 Buildings.

13.0 TILING

13.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices

13.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures eg benchtop bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable

13.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

13.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless shower as per AS 3740. Provide adequate and even fall to wastes where necessary

14.0 PAINTING

14.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufactur  s recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

15.0 BASIX

15.1 Compliance with the Basix's commitments must be achieved for the building and site.

16.0 Sedimentation and Erosion Control/stormwater/landscaping Plan

Retain vegetation

Fence or tape off those areas to remain undisturbed

Limit vehicle movements on site to avail compacting soils and destroying tree roots

Existing vegetation on the footpath areas to be retained.

Control site access

Site access to be limited to one point only

Site access to be stabilised by using gravel or crushed concrete with a minimum aggregate size of 50mm

Vehicular to be controlled to ensure that soil is not tracked from the building site on to the roadway Vehicles are to park on the stabilised access point or on the roadway and not on the footpath area

Sediment control

Install sediment fencing on the low sides of the construction site to slow and filter sediment laden runoff

All sediment fencing to be installed correctly, in accordance with the manufacturer's recommendation

Stock pile topsoil

All stripped topsoil to be retained for reuse during landscaping and site rehabilitation

Stockpiles to be protected by erecting sediment fencing on the down slope side

Stockpiles not to be placed in drainage lines, depressions or around trees and shrubs

Washout areas

Washing-out barrows, paintbrushes, brick cutters and other tools not to be carried out in the street gutter

Provide a designated wash-out area which will detain and filter polluted wate

Control stormwater

Where possible, use grassed or natural drainage channels to slow and filter runoff

Retard the rate of flow to non-erosive velocities using sediment fencing of straw bales across the line of flow

Connect downpipes to the stormwater system to Street kerb or drainage system or easement before placing roof materials

Backfill all trenches and compact to a level at least 75mm above the adjoining ground level

Maintenance of site

Erosion and sediment controls to be maintained throughout the course of construction and until the building site has been rehabilitated and stabilised

Stabilised access points to be replenished as necessary to maintain their effectiveness

All control measures are to be inspected after each storm and cleaned if required

Accidental spills of soil or other materials onto the roadway or gutter to be removed prior to completion of the day's work - spills are to be removed by sweeping, shovelling or a means other than washing.


17.0 Site Rehabilitation

Reuse topsoil for landscaping and revegetation

Stabilise disturbed areas by turfing, mulching, seeding, paving or similar

Retain all excavated and filled areas

All stormwater to be connected to street kerb or table drain1

 <div>Jude Little 40 Sharp St Cooma, NSW, 2630. judelittle@bigpond.com Ph 0416 292 934 Accreditation #6620</div> <div><div>bdac ACCREDITED BUILDING DESIGNER</div></div>	Do not scale off drawings. Written dimensions shall take precedence. All dimensions dependent on existing site conditions shall be verified by the builder on site prior to the commencement of the works. All works are to comply with the BCA and all relevant authority requirements. All steel beams and supports to registered engineers specifications. Builder to identify service locations on site prior to the commencement of any works.	Registered surveyor to set out structure and confirm positions of all relevant building envelope setbacks and easements prior to the commencement of the works. All timber framing and construction must comply with AS 1684 "The national timber framing code" Provide temporary and permanent bracing to all fram in accordance with the BCA All stormwater drainage and sewer to be connected to existing services in accordance with the BCA and all local authority requirements. Copyright 2021 Judith Little. This document remains the exclusive property of Judith Little and may not be copied in whole or part without written permission.	CLIENT:	SITE: Snowdrift Apartment 1 LOT 573 DP1118588 1/3 Riverview Terrace Thredbo NSW	TITLE: General Specifications		
					SCALE AT A3:	DRAWN: Author	REVISION: H
			PROJECT: Proposed Alterations		DATE: 29/10/2021 10:29:00 AM	DRAWING NO: S9	